

**TOWN OF HIGH LEVEL
DEVELOPMENT PERMIT**

PERMIT NO.: DP25-008
PROPOSED USE: Permitted Use – 6,480 ft² Cold Storage Building (Warehouse)
APPLICANT: 1166850 Alberta Ltd.
LANDOWNER: Same
LOCATION: Lot 15, Block 9, Plan 062-0096 in NW 33-109-19-W5

A development involving Application No. DP25-008 has been Approved with Conditions.

1. The site shall be developed in accordance with the site drawings and information attached hereto as Schedule A.
2. Prior to commencement of any construction of the warehouse, the Registered Owner/Applicant shall submit, for approval by the Development Authority, a lot grading and drainage plan, prepared by a Registered Alberta Land Surveyor or other qualified professional. The lot grading and drainage plan shall indicate the proposed changes to lot elevations and drainage and identify the proposed post-construction lot grading and drainage pattern and elevations. Upon the Development Authorities approval of the Lot Grading and Drainage Plan, all development on the site, including driveway construction, landscaping, and building construction, shall be consistent with the approved Lot Grading and Drainage Plan.
3. Prior to occupancy of the development, the Registered Owner/Applicant shall obtain a post-construction Lot Grading Certificate, prepared by a registered Alberta Land Surveyor, and provide the Certificate to the Development Officer. The Lot Grading Certificate must demonstrate that the post-construction lot grades, drainage, and elevations are consistent with the approved Lot Grading and Drainage Plan as per Condition #2.
4. Development must be commenced within one (1) year from the Date of Issue. If at the expiry of this period, the development has not commenced, this Permit shall be null and void.
5. The Applicant/Registered Owner shall ensure there is no damage to municipal property resulting from this permit. Costs for repairs of municipal property will be assessed by the Town of High Level and will be charged back to the applicant.

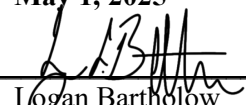
You are hereby authorized to proceed with the development specified, provided that any stated conditions are complied with, that all other applicable permits are obtained, and that the appropriate appeal period has been exhausted. Should an appeal be made against this decision to the Subdivision and Development Appeal Board, this Development Permit shall not come into effect until the appeal has been determined and the Permit upheld, modified or nullified.

DATE OF DECISION OF DEVELOPMENT PERMIT: April 9, 2025

DATE OF ISSUE OF DEVELOPMENT PERMIT: April 9, 2025

DATE OF VALIDITY OF DEVELOPMENT PERMIT: May 1, 2025

SIGNATURE OF DEVELOPMENT AUTHORITY:


Logan Bartholow

NOTES:

1. If the development is found to be incorrectly placed, the applicant may be required to move or remove the development at the sole expense of the Applicant/Registered Owner. Any changes to the attached plans will require a new development permit.
2. An appeal can be made by filing a written notice of appeal along with payment to the **Subdivision and Development Appeal Board (10511 103rd Street, High Level, AB, T0H 1Z0)** within 21 days from the date of the receipt of this decision. In the case of an appeal made by a person referred to in section 685(2) of the *Municipal Government Act*, within 21 days after the date on which the notice of the issuance of the permit was given.
3. **This is a Development Permit ONLY.** Issuance of this Permit does not excuse the applicant from satisfying all other applicable municipal, provincial and/or federal requirements.

OTHER PERMITS ARE REQUIRED

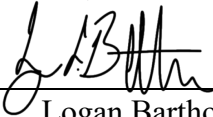
In the interest of public safety and as required by the Safety Codes Act construction permits must be obtained before commencing any work. Required permits may include building, electrical, gas, plumbing, and private sewage. Additionally, the Town of High Level requires permits for water & sewer connection, **new accesses**, and driveways.

PLEASE NOTE

The Applicant and/or Registered Owner are responsible for applying for, and receiving, all necessary permits prior to beginning construction. Ensure that you or your contractors obtain all other required permits related to the development. For more information regarding how to obtain the required permits, contact Superior Safety Codes 1-866-999-4777. If you are unsure which additional municipal permits you may need, please contact development@highlevel.ca.

SCHEDULE A

Approved May 1, 2025



Logan Bartholow
Development Authority

(8 pages)

Although every effort has been made to ensure accuracy and sufficient data on this set of plans it is up to the contractor to check and verify all dimensions and details. It is also the contractor's responsibility to ensure all aspects meet National Building Code guidelines. The drafter shall not be held liable should there be an oversight on drafted plans. Contractor is also responsible that all load bearing points, window egress sizes and setbacks are done in accordance with all applicable building codes.

Building Code Analysis
Building Code: National Building Code 2023 AE
Building Area: 6480 Sq Ft (602 m²)

3.1.2.1(2) Major Occupancy Classification:
Low Hazard Industrial Occupancy F3 Warehouse

3.2.2.87 Group F, Division 3, Up To 2 Storeys
- Building Area Not More Than 1,600 m² If Facing 1 Street
- Combustible Or Noncombustible Construction
- Floor Assemblies Shall Be Fire Separations And, If Of Combustible Construction, Shall Have A Fire-Resistance Rating Not Less Than 45 Min

3.2.3.1 Spatial Separation And Exposure Protection
Unprotected Opening Limits For A Building Or Fire Compartment That Is Not Sprinklered Throughout For Group F, Division 3

Table 3.2.3.1

	Code L/D	Actual L/D	Area Of U/O	F.R.R
North				
East				
South	10m	10.6	200m ²	45 min
West				

3.2.5.7 (5) Water Supply
Sentence 1 Does Not Apply To A Building Classified As A Medium-Hazard Industrial Or Low-Hazard Industrial Occupancy, Provided

d) The Floor Area Of The Building Is Primarily An Open Space With Minimal Subdivision Into Smaller Rooms Or Spaces

e) The Travel Distance To An Exit Does Not Exceed 20m

f) Portable Fire Extinguishers Are Installed In Accordance With NFPA 10.

g) The Highest Point Of The Building Is Not More Than 10m Above Grade

3.4.2.1. - A

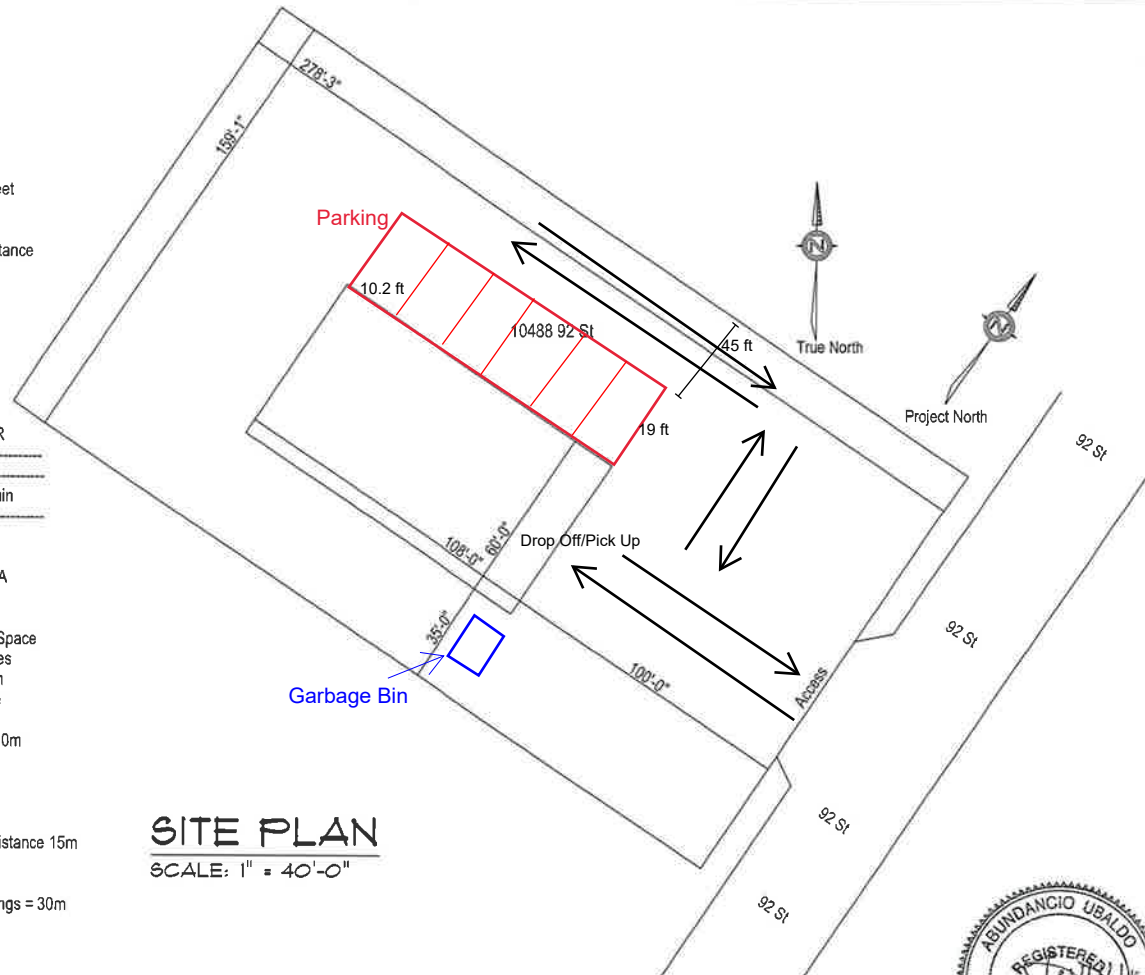
Criteria For One Exit (Floor Area Not Sprinklered)

Group F, Division 3 Max FLR Area 200m² Max Travel Distance 15m
- 4 Exits Provided

3.4.2.5. (1)(f) Location Of Exits In Non Sprinklered Buildings = 30m

3.8.2.1. (1)(c) Accessibility Exceptions

The Requirement Of The Section Apply To All Buildings Except For Buildings That Are Not Intended To Be Occupied On A Daily Or Full Time Basis
NECB 2020 Compliance
-The Proposed Building Is Not Heated



SITE PLAN

SCALE: 1" = 40'-0"

3A DESIGN & ARCHITECTURE
AAA PERMIT NO. FM15795



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Rona
Andrew Zacharias
780-841-1994

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High Level
Alberta

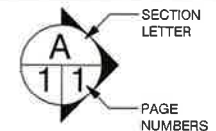
Square Footages

Main Shop: 6,480 Sq Ft
Covered: N/A
2nd Floor: N/A
Building Total: 6,480 Sq Ft



SCALE: 1" = 40'-0"

DATE: February 21, 2025



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Site Plan

Development Permit Application

General Development (Non-Residential)



Employees & Customers:

Total Staff Employed Including Business Owner n/a 0
Expected Daily Customers 0

Maximum Number of Staff Present at any one Time 0
Expected Weekly Customers 0

Hours and Days of Operations: (Include if your operations will be seasonal)

Extra storage facility only. Accessed intermittently for drop offs.

Describe any storage structures and the nature of goods to be stored:

parts and/or equipment

Will commercial vehicles be stored on site? How many and where?

no

What is your waste management plan?

dumpster to be on site if needed

How will local traffic be changed by this development?

no impact to local traffic or 92 street

Is the site open to the public? If so, what parts? (include dimensions)

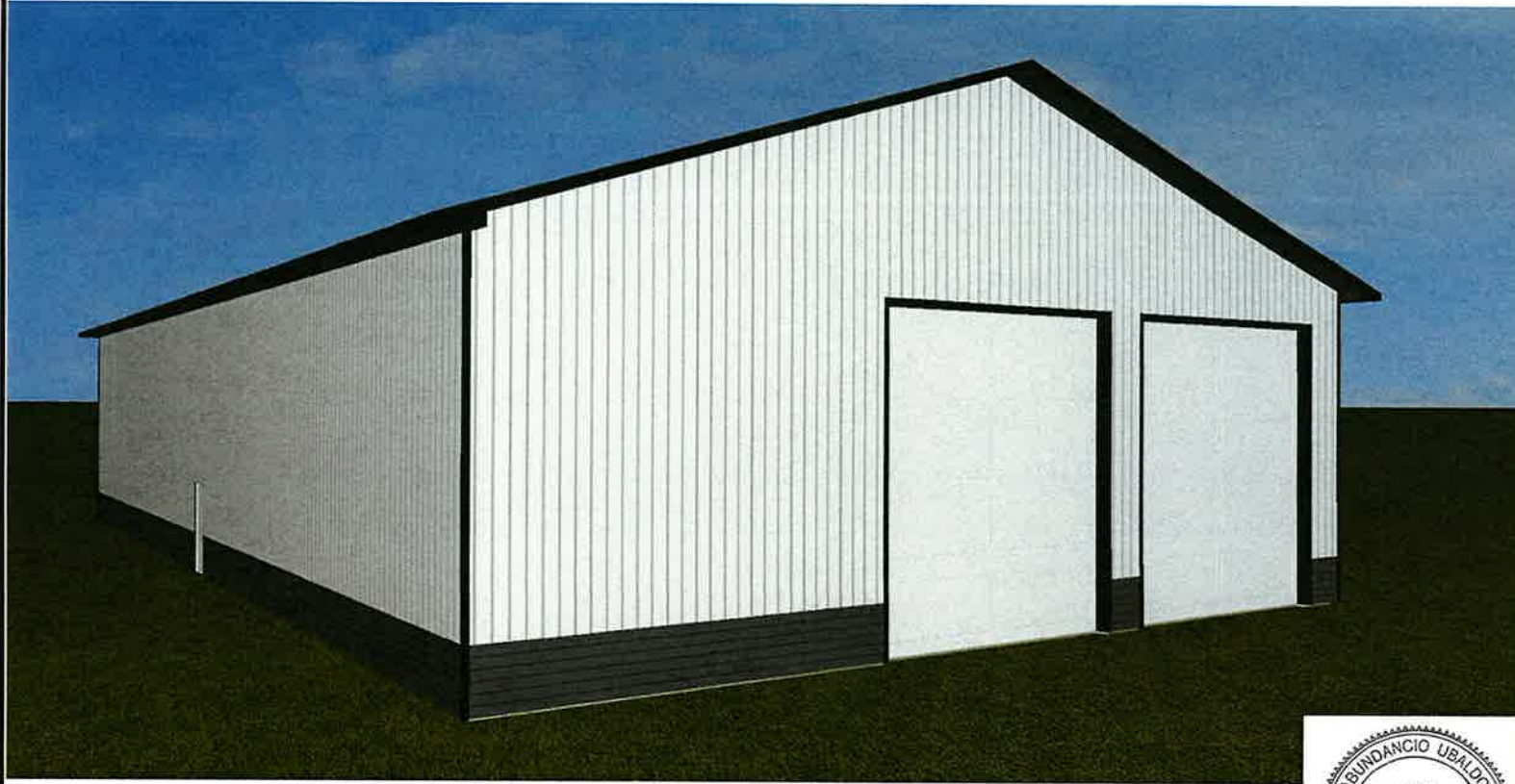
no

Describe planned signage:

none

No outdoor lighting
No security measures
No employees

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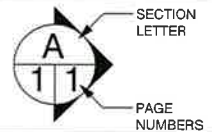
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SCALE: As Noted

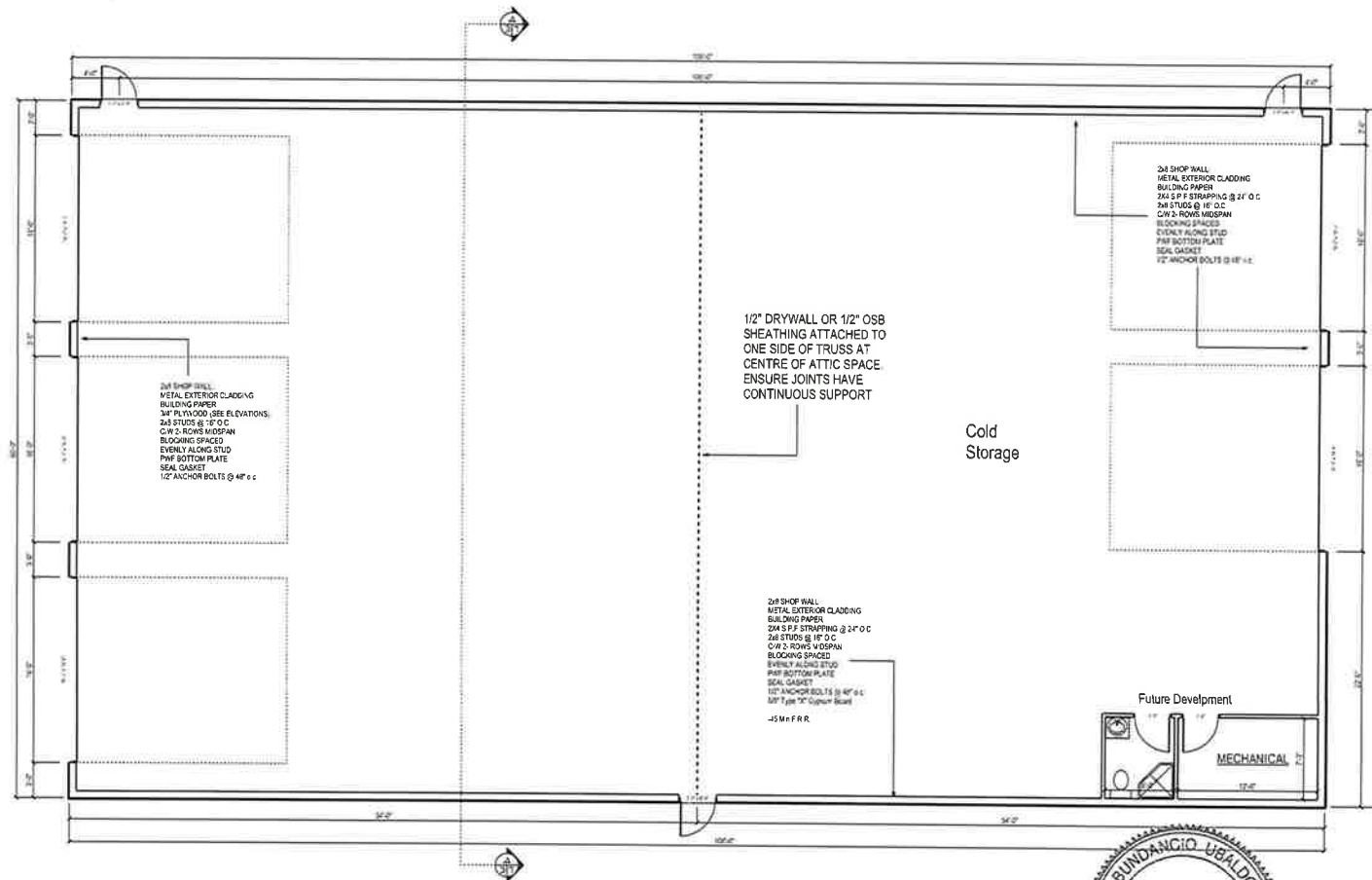
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Cover Page

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MAIN FLOOR
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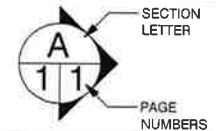
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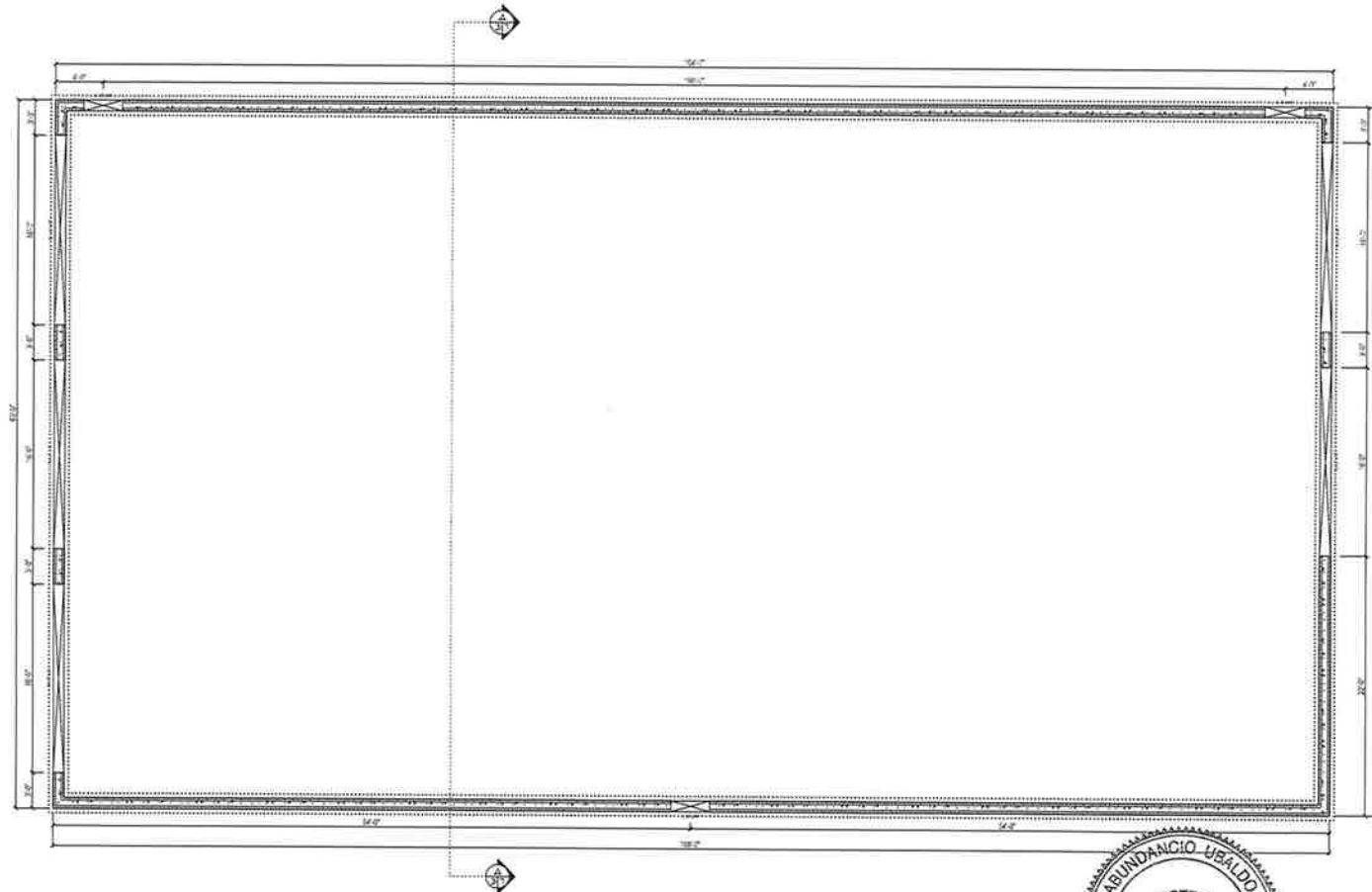
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Main Floor

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FOUNDATION

SCALE: 1" = 10'-0"

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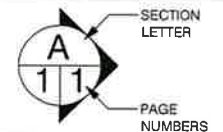
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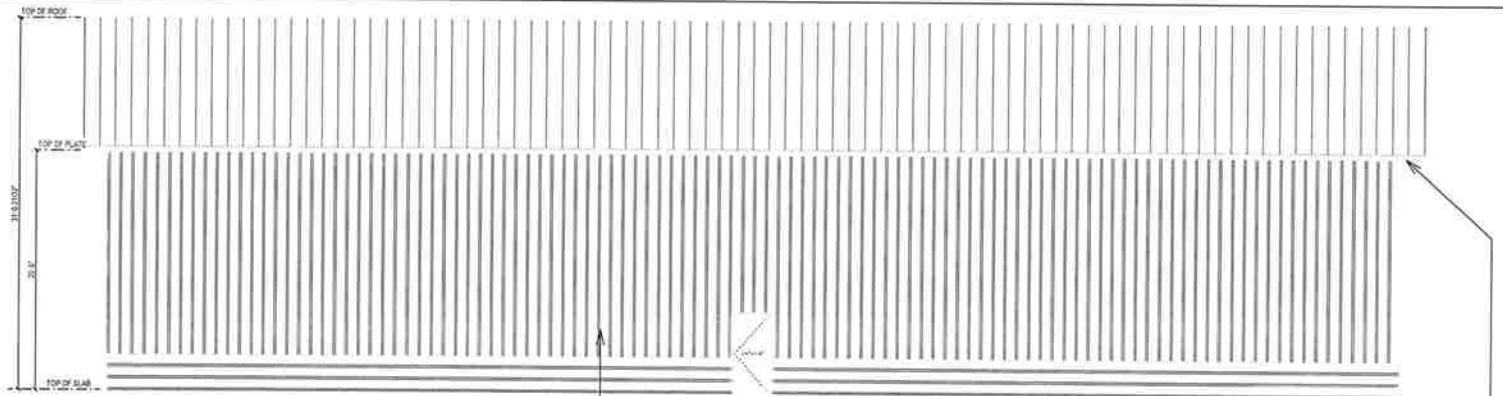
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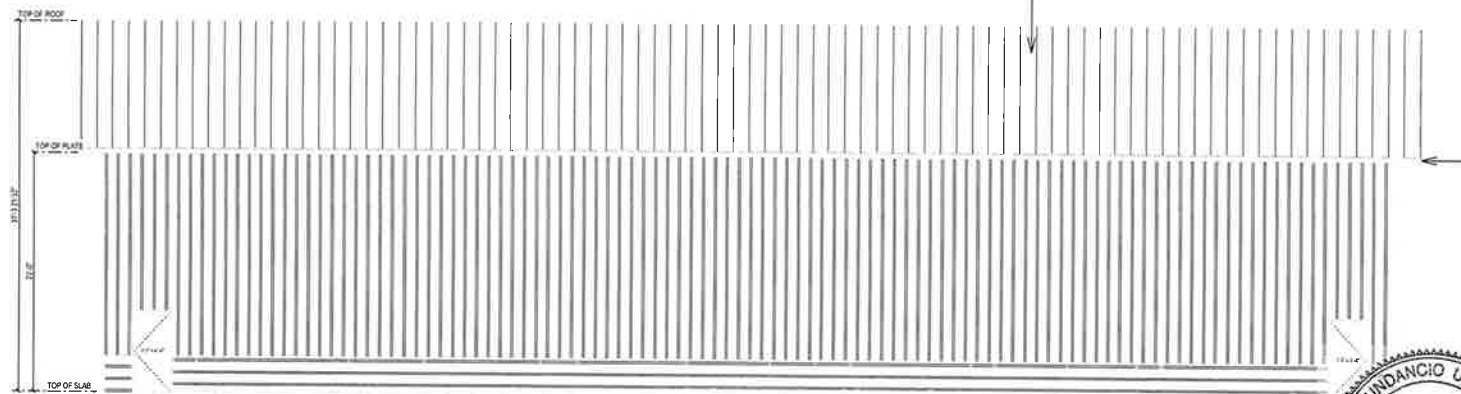
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Foundation

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Front Elevation

SCALE: 1" = 10'-0"



Rear Elevation

SCALE: 1" = 10'-0"

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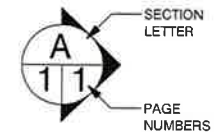
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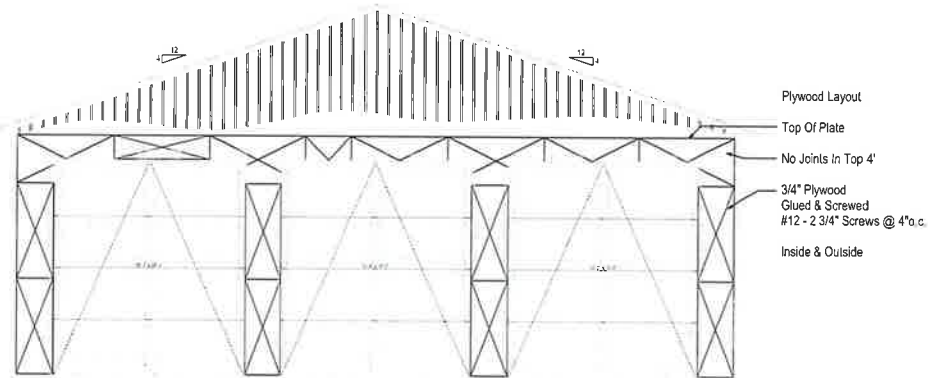
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Front & Rear Elevation

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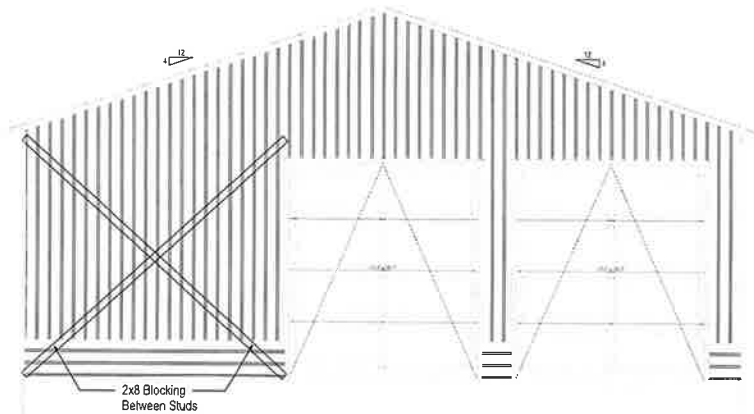
Left Elevation

SCALE: 1" = 10'-0"



Right Elevation

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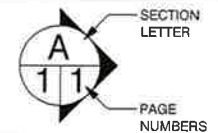
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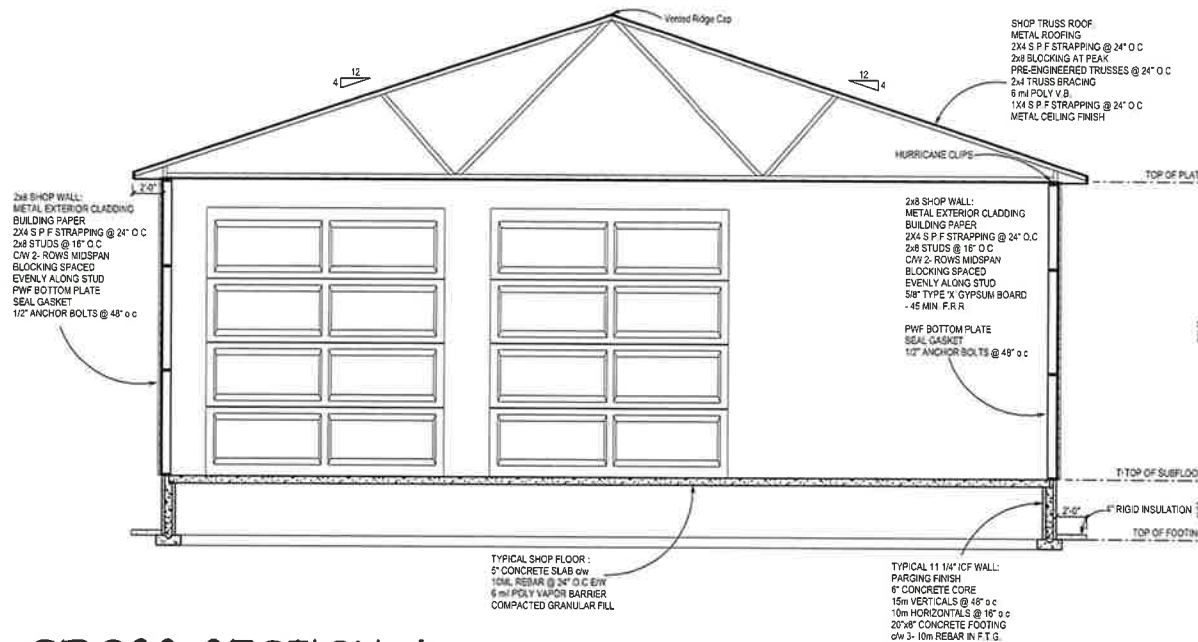


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Left & Right Elevation

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CROSS SECTION A

SCALE: 1/8" = 1'-0"

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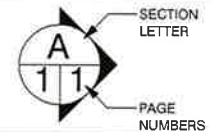
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Cross Section