

Town of High Level

Policy 266-21

Title: **Vitalization Grant Program Policy**
Authority: **Council**
Resolution: 192-21
Date Adopted: May 25, 2021
Rescinds: Policy 248-14

POLICY PURPOSE

To establish a process for the Town of High Level Vitalization Grant Program.

POLICY STATEMENT

1. The Vitalization Grant Program is established to provide financial support to local businesses and organizations located within the General Commercial and Highway Commercial Land Use Districts, who wish to enhance the exterior façade of their building to meet the Town of High Level Design Guidelines.
2. The Program's objectives are:
 - a) To assist local businesses or organizations located primarily within the General Commercial District and the Highway Commercial District along 97 Street between 100 Avenue and 105 Avenue, and secondarily within the remaining Highway Commercial District to make permanent upgrades to their buildings that meet the Town of High Level Design Guidelines;
 - b) To assist local businesses and organizations located in the General Commercial and Highway Commercial Districts to contribute to the vitalization of the Town of High Level;
 - c) To enhance the quality of life and well-being for the residents of High Level by increasing the aesthetic appeal of the General Commercial and Highway Commercial Districts; and
 - d) To enhance the pride and profile of the Town of High Level for both residents and visitors alike.
3. Funding will be available for expenses related to eligible upgrades to existing building façades within the General Commercial and Highway Commercial Districts.

4. All applicants must be property owners or have property owner approval of businesses or organizations within the General Commercial and Highway Commercial Districts, as defined in Schedule “B”.
5. Applications are accepted year round, and grant funding is allocated for use within a calendar year from January 1 to December 31.
6. Applications to the Vitalization Grant Program will be considered on a case-by-case, first-come-first-served basis. Upon receipt, the Town Council shall review applications at the next Committee of the Whole Council meeting as required, when a complete application requesting over \$2,500.00 (Two-Thousand-Five-Hundred Dollars) is received. The Chief Administrative Officer has the discretion to approve Vitalization Grant Program applications up-to a maximum of \$2,500.00 (Two-Thousand-Five-Hundred Dollars) per application.
7. The Planning & Development Department will review all applications to the Vitalization Grant Program and recommend allocations to Council or the Chief Administrative Officer for approval. The Planning & Development Department reserves the right to assess the reasonableness of costs, and the eligibility of costs under the terms of the Program.
8. When considering an application, the Planning & Development Department will have general regard for, but not be bound by the following considerations:
 - a) A detailed project description and an explanation of how the project will contribute to the enhancement of our community; and / or
 - b) The extent to which the project meets the intent of the Town of High Level Design Guidelines, when required to do so.
9. A maximum of 50%, up-to a maximum of \$20,000.00 (Twenty-Thousand Dollars) of the total project cost is eligible per application under this Program. The Town provides a 3-year commitment to rebate the equivalent of any property tax increase, due to a property tax assessment increase as a result of improvement works eligible under the Vitalization Grant Program.
10. The Town will allocate \$100,000.00 (One Hundred-Thousand Dollars) annually to the Vitalization Grant Program from General Reserves for applications within the General Commercial District and the Highway Commercial District along 97 Street between 100 Avenue and 105 Avenue. Unused annual grant funds will be available in the subsequent year for projects in both the General Commercial District and the Highway Commercial District along 97 Street between 100 Avenue and 105 Avenue, and the remaining Highway Commercial District. Funds unallocated in the 2-year timeframe will be returned to General Reserves.
11. Funds must be used for enhancement to existing buildings and cannot be used to fund new construction or projects a business / organization would normally be expected to complete

(for example, general or regular maintenance of existing building assets, requirements of a development permit, etc.).

12. All submissions must be completed in writing and include all required supplementary documentation as per Schedule “A”, prior to the project starting. The Planning & Development Department may request additional information to support the application.
13. All grants under this Program are at the discretion of Council or the Chief Administrative Officer, as authorized, and may be refused for not meeting the intent of the Vitalization Grant Program, the Town of High Level Design Guidelines, or adjusted to meet the intent of the Vitalization Grant Program or the Town of High Level Design Guidelines. The Planning & Development Department and Council may also impose conditions they deem appropriate with the granting of funds based on the merit of an application or the Town of High Level Design Guidelines.
14. All approved Vitalization Grant Program funds will be released to the applicant via cheque upon the approved project completion and the submission of all required receipts and invoices pertaining to the approved project to the Planning & Development Department. The required documents for submission after project completion will be listed in the grant approval as conditions.
15. Any applications that would result in the Vitalization Grant Program exceeding the annual budget will be presented to Council, who may increase funding to allow applications to proceed or may defer an application to the subsequent year.
16. The Vitalization Grant Program may only be applied retroactively by a Resolution of Council.

REFERENCES:

Schedule “A”: PD-F09 Vitalization Grant Program Application Form

Schedule “B”: Vitalization Grant Program Area Map

Schedule “C”: Town of High Level Design Guidelines

Schedule “D”: PD-F10 Recommendation and Approval Report

Schedule “E”: PD-F11 Vitalization Grant Program Allocation Summary Report

	DATE	RESOLUTION
Adopted	May 25, 2021	192-21
Amended	April 24, 2023	156-23



10511 – 103 Street
High Level, AB
T0H 1Z0
Ph: 780-926-2201
Fax: 780-926-2899

Vitalization Grant

Application Form

Please complete the application form and submit to the Development Department with all supplementary documentation as specified. **Business/organization must be located within the core as per the Vitalization Grant Program Policy #266-21**

Legal Name of Organization	
Address	Mailing Address (If Different)
Address: City/Town: Province: Postal Code:	Address: City/Town: Province: Postal Code:
Contact Person	Email
Daytime Phone	Fax

Name of Project	
Total Proposed Cost of Project (Please attach a detailed breakdown of cost estimates)	Estimated Project Start Date
\$	
Vitalization Grant Requested: (Maximum 50% of total cost up to \$20,000)	
\$	

Note: Donated Labour, services, equipment and materials are not eligible for funding under this grant.



10511 – 103 Street
High Level, AB
T0H 1Z0
Ph: 780-926-2201
Fax: 780-926-2899

Vitalization Grant

Application Form

Please complete the following and attach supporting documentation, if necessary:

1. Project Description/Details - detailed description of the project, expected outcomes, and how it meets the Design Guidelines as shown in the policy schedule)

2. Ability to Manage - detailed description of your ability to complete the project successfully, ability to raise funds in addition to those requested from this grant, and a list of previous management of projects or activities is attached

3. Project Cost and Funding

Expense Description	Proposed Cost (without GST)	Eligible



TOWN OF
HIGH LEVEL

10511 – 103 Street
High Level, AB
T0H 1Z0
Ph: 780-926-2201
Fax: 780-926-2899

Vitalization Grant

Application Form

I DECLARE THAT:

- I AM A DULY AUTHORIZED REPRESENTATIVE HAVING LEGAL AND/OR FINANCIAL SIGNING AUTHORITY FOR THE ABOVE MENTIONED ORGANIZATION**
- The information contained in this application and supporting documents is true and accurate and endorsed by the above-mentioned organization
- An allocation usage summary detailing the projects completed using the grant funding (complete with attached photographs of the project) shall be provided prior to an inspection request. Any grant monies awarded shall be used solely for the purpose stated within this application and according to the program parameters and may be adjusted based on completion of the project.
- As a condition of accepting financial assistance, access to all financial statements and records having any connection with monies received is hereby granted to the Town of High Level.
- The Town requires notification by October 31, of the application year, if the project will not be completed by the end of the fiscal year (December 31).

Print Name	Signature
Title	Work Phone Number

Please submit to:

Development Department
10511 – 103 Street High Level, AB T0H 1Z0
Ph: 780-926-2201 | F: 780-926-2899
development@highlevel.ca

Personal information on this form is collected in accordance with Section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act and will be solely used for the stated purpose. If you have any questions about the collection, use, or disclosure of this information, please contact the Municipal Clerk at 780-821-4008.



SCHEDULE B

Vitalization Grant Program Area Map

Primary District

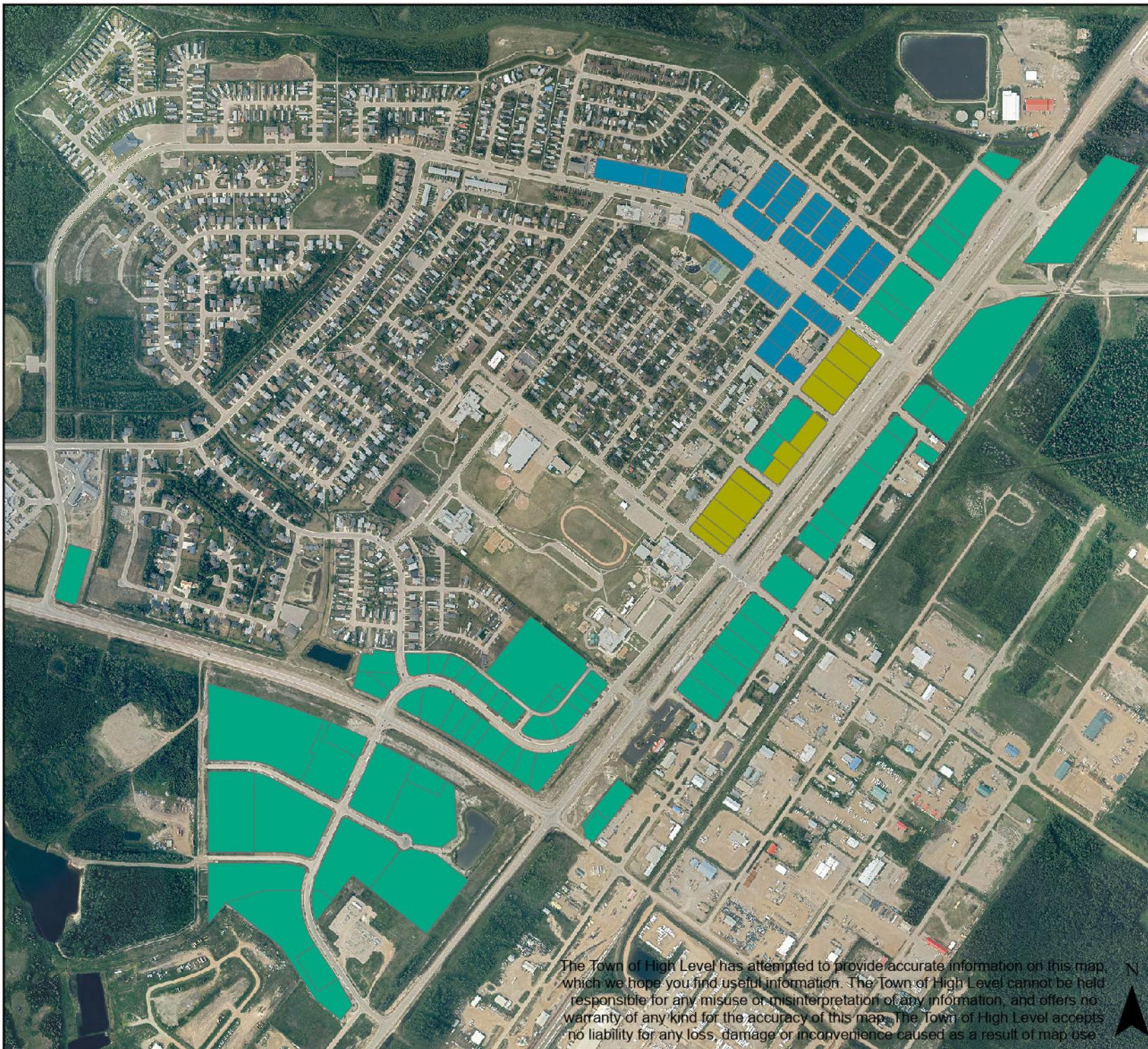
C-1 General Commercial

Primary District

C-3 Highway Commercial

Secondary District

C-3 Highway Commercial



The Town of High Level has attempted to provide accurate information on this map, which we hope you find useful information. The Town of High Level cannot be held responsible for any misuse or misinterpretation of any information, and offers no warranty of any kind for the accuracy of this map. The Town of High Level accepts no liability for any loss, damage or inconvenience caused as a result of map use.

0 0.17 0.35 0.7
Kilometers

SCALE: 1:12,000
PROJECTION: NAD 1983 UTM ZONE 11N



DESIGN GUIDELINES

NOVEMBER 25, 2013

Encouraging building design that respects our communities character and vision. These design guidelines encourage better urban design for buildings while offering predictability, consistency and inspiration in the development process.



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1. INTRODUCTION

What are Design Guidelines?

These Design Guidelines are provided as a framework that outlines the important characteristics of different building features and design concepts. Through identifying desirable building design practices and making them benchmarked for a community, future development – as well as renovations – may become naturally accepted standards.

These Design Guidelines, therefore, provide a new model to the Town of High Level's development trends; a model that encourages distinctive development patterns, while recognizing the unique characteristics of the terrain and the Town's vision for the future.

Why Do We Need Design Guidelines?

Design Guidelines are intended to create better places and encourage cohesion in the urban form. They help capture a community's character and spirit, and they offer a degree of design consistency and predictability while fostering complete, pedestrian-friendly neighbourhoods: places where people want to live, work, shop and play.

Different building circumstances – such as history or location – also warrant different design solutions. With that in mind, Design Guidelines also offer flexibility and alternative solutions. Should one practice or standard not apply to a particular project, there are others that may be adapted or incorporated to enhance a project.

What is the Intent?

The intent of this document is to provide guidance in the decision making process with respect to the design of buildings. Its focus is the downtown and residential buildings consisting of two units and more. This should enable the Town of High Level to develop with projects that are context sensitive and respect the community's vision. This is a living document, and should be revised as standards and principles evolve.

Who is Responsible? (Authority, Participation, Prioritization)

To be reviewed in conjunction with the Land Use By-Law, Municipal Development Plan, and other community planning documents, these Design Guidelines should be reviewed by applicants, Town Staff, and community stakeholders when development applications are submitted. These Guidelines reflect the Town's vision for high quality buildings.

2. BACKGROUND

2.1 The Town of High Level Vision

“Our vision for the future of High Level is as Alberta’s best known community; there is no other place like it. Our community is a picturesque town that appeals to all generations. Children play in the parks and walk down our safe, clean streets. We embrace and celebrate our diversity through community and cultural events. Our community spirit is showcased through performing arts events, public art, recreational activities and festivals such as Winterfest. As a community we have a wide variety of activities for entertainment and recreation including curling, hockey, dances, and movie theatres. Our youth and seniors take ownership of the community through activities that interest them. We are family oriented, and inclusive. We are a dynamic community rooted in strong social connections, and a sense of belonging. Everyone has a home in High Level. Our community offers diverse housing options including houses, apartments, affordable housing units and seniors’ complexes; and great social programs to provide people with assistance when needed.

We are a healthy community where people can readily access various recreational facilities, or go for a walk along our natural trails. Wellness is more than just emergency healthcare in our community and we place importance on wellness for mind, body and spirit through local education, accessible recreation, healthy food, and personal connections. We value our natural environment and as such have become a northern leader in environmental initiatives particularly in recycling, energy regeneration and waste management programs. Regionally, we are known for our committed and trustworthy local governance that is dedicated to providing an unprecedented quality of life for everyone. Our vibrant economy offers attractive local opportunities for the entire community. Strong community and industry partnerships are the foundation for reaching High Level’s Sustainability Vision.”

(Town of High Level Municipal Development Plan, p24, 2010)



2.2 Existing Built Form - Observations

- (1) The Town of High Level has a mix of building styles with no consistent theme. For these reasons the Design Guidelines focus on key elements of design rather than a specific design theme. This enables both enhancement of existing building along with new forms of development.
- (2) The buildings are mainly single storey with a few two storeys. There are also vacant lands that create gaps in the cohesion of the building form along Main Street which ultimately should be developed.



- (3) While some buildings are positioned at the street frontage, the majority are set back with either landscaping or parking in front.



- (4) An eclectic mix of materials exists. These include brick, stone, metal siding, wood siding, stucco and EIFS (Exterior insulation finishing system). Many of the buildings appear worn and dated and in some cases closed.
- (5) Building colours generally feature earth tones with mostly beiges and browns, though a few make use of primary colours.



- (6) Many buildings have large areas of blank walls facing the street and appear very box like in their design.



(7) Signage typically consists of light-box style signs and awning signs. The Fahlman Building has some small pedestrian scale signs.



(8) Windows often have security bars or blinds blocking views into the retail space. Most buildings provide little opportunity for interaction between people on the street and retail activities.



(9) The street is wider than the scale of the buildings which has resulted in a loss of character. This has been compounded by a lack of pedestrian elements such as small signage, public art, planters, hanging baskets or consistency in the streetscape elements. It is important to consider the functionality of these elements based on their location if installed.



(10) There are a few murals on the sides of buildings in the downtown; however, because of the scale of the street, building conditions and location, their presence is not largely recognized.



3. DESIGN GUIDELINE PRINCIPLES

The following five urban design principles are provided as a framework for designing high-quality, pedestrian-friendly buildings in the Town of High Level. No one principle should be regarded in higher standing than another as each is inherently dependent on one another.

1. Designing for People (The Human Scale)

People use buildings; it's not the other way around. Whether for living, working, shopping or resting, a building is supposed to be a place where people congregate to carry out their day-to-day activities. With this in mind, a building should be designed to encourage social and physical interaction. Through simple design strategies at the street level – where most interaction occurs – the Town of High Level can help promote an atmosphere where people want to be and come together.



2. Accessibility

It's hard enough to get to where we want to go sometimes; so, when we get there, the last thing we want to experience is more delays or incompatible services. Building design should, therefore, incorporate the necessary infrastructures for pedestrian accessibility to support the safe and efficient movement of people. Whether it is the promotion of active transportation, or the incorporation of the latest mobility impaired design, a building should be inviting and accommodating to all its users.



3. Safety

Ideally, pedestrians should feel comfortable and safe in the public realm 24 hours a day, 365 days a year. However, poor building design often creates places where crime and unwarranted behavior is frequented. Integrating urban design techniques that promote natural surveillance and property protection, buildings can contribute to the overall safety and comfortableness of a Town.

4. Building Form & Style

How a building is perceived – whether negatively or positively – is in large part due to its built form and architectural style. The physical location, appearance and mass of a building can sometimes be intimidating to a passerby or a community member. Therefore, a building form must take into consideration the context and history of the surrounding neighbourhood, or be designed with an openness and welcoming feeling, in order to reflect a positive message and an appealing perception. Creative and functional use of lighting, landscaping, color and signage also helps promote a positive awareness and sense of communal ownership over public and private spaces.



5. Sustainability

Whether retrofitting old buildings or designing new ones, the highest quality environmental design standards should always be considered. Not only does sustainable design involve a respect for the natural environment and local ecosystems, but it encourages functional design practices that contribute to the overall upkeep and maintenance of a building. The less we impact our natural environments, the longer we may enjoy them.

Using high quality, natural, and resilient building materials increases the lifespan of a building and are often more pleasant to look at. Sustainable, durable materials can offer flexibility in colour and style, and they are more adaptable to the wear and tear of the natural elements.



Example of a Green Roof



Example of a Living Wall

4. DESIGN GUIDELINES (DOWNTOWN)

4.1 Designing for People

(1) Building Setback

Main Street buildings should be positioned close to the sidewalk to generate greater engagement between the buildings and shoppers.



(2) Store Frontage Widths

Smaller storefronts provide more interest, add detail and provide a better human experience. 8-10m is recommended as an ideal storefront width. Blank walls (3m wide or more) along the street frontage should be avoided.



(3) Scale of Buildings and Appearance

Large buildings should appear as multiple smaller ones and function as such at street level along each street it fronts.



(4) Transparency

Street-level commercial should be highly transparent, maximizing views into the retail space, and out to the street. This has benefits to inviting shoppers into the store and providing more interest in the streetscape. This transparency speaks to being a welcoming community and contributes to “eyes on the street” and greater security.



(5) Awnings

Awnings should be provided for weather protection, afternoon shade and additional architectural detail. At a minimum, awnings should extend over entrances. Awnings also assist in breaking up the blank appearance of a building drawing the eye of the pedestrian to focus on the street level shop windows.



(6) Enhancing Buildings at Night

Consider how the building will look at night and in different seasons. For example, consider providing exterior outlets for seasonal lighting.



(7) *Landscaping*

Consider adding landscaping such as Planters, Window Boxes, and Hanging Baskets etc. to soften the building edges and provide natural elements to the building.



(8) *Streetscape Amenities*

Landscaping plays an important role in providing the feel about a place and has significant benefits some of which include: softening up the appearance of rigid building and hard surface landscape, adding colour to the area and providing shading for people to rest. Landscaping combined with other streetscape amenities (benches, seating walls) and public art (Murals, Interactive Elements) contribute to providing an active street frontage. Bike parking should also be provided on or near commercial buildings to encourage active transportation.



(9) **Signs**

(a) Signs should be illuminated from the front using downward lighting (pendant or similar). Light box style signage should generally be avoided.



(b) Small signs facing perpendicular to the building should be provided for pedestrians to locate business tenants.

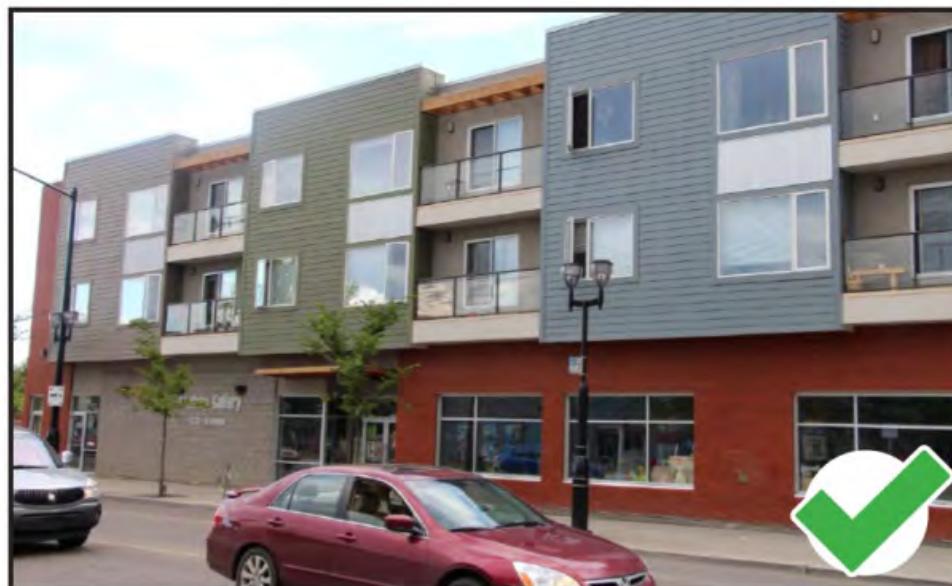


4.2 Safety

(1) Building Design

Building design should discourage crime and unwarranted behavior by incorporating the following principles:

- Large transparent windows at street level as previously shown.
- Additional storeys with windows overlooking the street are encouraged.
- Pedestrian lighting maintaining consistent illumination along with incorporation of low level lighting (ambient lighting) and lighting to enhance at night architectural features of building facades. Lighting should aim to be dark-skies certified.
- Entrances should not be concealed or stepped back.
- Entrance doors should consist of mostly glass.
- Place any amenities such as bike racks and benches in highly visible areas.
- Use of small security stickers and hidden security cameras.



(2) Store Frontage

(a) Security bars in windows and doors should be avoided. They indicate a sense of danger and portray an image of an unsafe area. Alternative security measures such as interior security cameras should be considered.



(b) Dark and or reflective glazing should be avoided at street level.



4.4 Building Form & Style

(1) Roof Elements and Detail Treatments

Single storey buildings should have roof elements and detail treatments that provide character and style. These elements can also be used to enhance main entrance points.



(2) Awnings

Awnings should contain secondary signage with minimal advertising. Design and fonts should be consistent on the same building.



(3) Corner Lot Buildings

- (a) Buildings on corner lots should be located at the property line of each street frontage. This does not prohibit angled or sculpted corners.
- (b) Buildings on corner lots should also activate the side street with the same level of detail as the front, continuing the use of windows, doors, awnings, and signage on the side.
- (c) Buildings on corner lots should provide one or more of the following:
 - (i) a corner entrance with decorative landscaping and/or public art;
 - (ii) outdoor amenity space, such as seating space; and
 - (iii) an identifiable architectural element, such as a turret, tower element, sculpted corner design, bay windows, awnings or balconies.



(4) *Mixed Use Development*

In multi-unit buildings, office and small business uses should be encouraged on the ground floor to increase street-level activity during the day.



(5) *Building Colour & Texture*

A building should avoid the use of one colour or use of one material but instead use colour to provide greater definition and contrast to a building. The illustrations to the right are good examples of how the use of paint, trim and minor changes to an existing structure can have a significant impact on its visual presence within the streetscape.



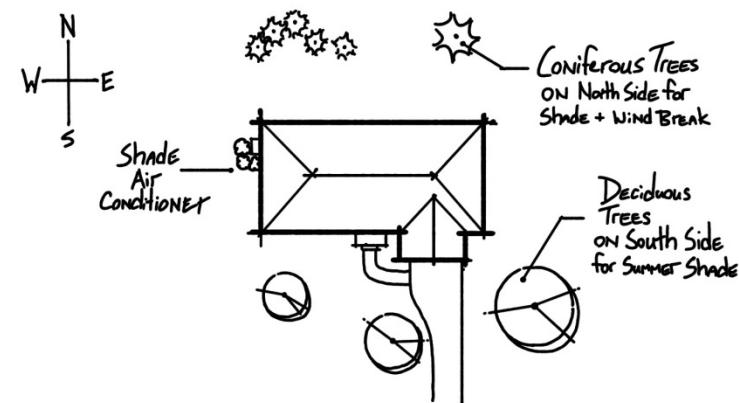
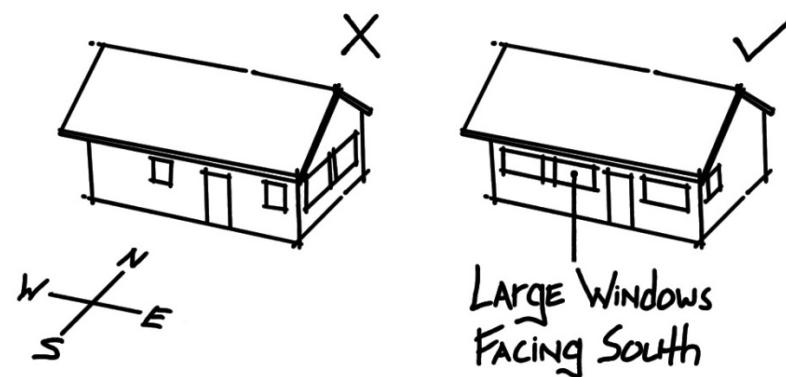
4.5 Sustainability

(1) Building Materials

Sustainable and regenerative building practices are encouraged (eg. LEED standards) and should be considered. This includes using local sources, existing on-site materials and energy efficient products where possible. Building materials should be durable, low maintenance and provide additional detail/texture. Stone, masonry, stucco and wood are preferred over metal siding, vinyl, sheet paneling, unfinished cement and plywood.

(2) Solar Gain

The building should be designed to optimize passive solar design.



(3) *Green Roofs*

Green roofs are encouraged and should be designed to mitigate stormwater runoff. Green roofs should provide leisure opportunities for building tenants.



(4) *Protective Strip*

A small protective strip of concrete or stone should be provided at the base of a building. This protects the cladding from damage due to shoveling and rot.



5. MULTI-UNIT RESIDENTIAL DESIGN GUIDELINES

5.1 Designing for People

(1) *Multi-Unit Adjacent to Lower Density*

A multi-unit residential building should be separated from a lower density residential use by a distance of at least 3 m. Where a building is greater than 9 m in height, this distance should increase 1 additional metre for each metre increase in building height.



(2) *Colour and Articulation*

Use colour and articulation to break up the building façade to create character, and identity with both vertical and horizontal modules to avoid creating a building where the mass of the structure becomes dominant or has a blank appearance. .



(3) *Garbage Screening*

Garbage areas should be screened in a manner that complements the design materials of the site.



(4) *Entrances*

An entrance to an apartment building should be framed with the use of pillars that are in scale or proportional to the structure and or landscaping features.



(5) *Decks*

Decks need to be integrated into the design of the overall building to avoid dominating the design of the structure. Supports for decks should be proportional to the scale of the building and maintain the rhythm of the colour and materials. Where there are no supports, the decks should be set back into the building to enable the design features of the structure to be the dominant element. As a guide, the minimum area of a deck should be 10m² to provide for adequate outdoor living space.



(6) *Roof Elements*

The roof lines should generally replicate a pitched slope dwelling roof that includes variation to avoid a generic appearance to the structure. More modern contemporary roof lines are also supported or flat roofs that containing a designed parapet or motifs along the edge of the roof line to provide the appearance of a designed roof line.



(7) *Support Structure Details*

Scale of supports should be consistent to the scale of the building to which it is supporting and be designed to complement the structure.



(8) *Landscaping*

Landscaping plays a critical element in softening up the bulk form of a structure, creating shade and overall beautification of a site and amenity features for onsite residents. Landscaping can also be used to enhance design characteristics of the building. Examples of good landscaping are illustrated below and should be made up of a mixture of shrubs, trees and flower beds around the building and along boundaries that interface with lower density structures and the streetscape. The layout of landscaping is also important to prevent undesirable activities from occurring; this includes pruning trees to enable clear visibility below the tree line, and low lying shrubs along with providing good illumination around pathways.



(9) ***Parking***

Parking should not be located where visible from the streetscape or adjoining properties. Screening through the use of landscaping, earth berms or solid fencing can assist with the transition from a parking lot to an adjoining property. With higher densities the desire will be to encourage underground parking. Where a large open area is required for parking, the layout should be broken up into landscaped islands. Entrance ways leading to the parking areas should also be landscaped to enhance the entrance to the site.



6. TOWNHOUSE DESIGN GUIDELINES

6.1 Designing for People

(1) *Rooflines*

The articulation of the roof line is important to assist in keeping the character of an existing residential environment along with breaking up the mass of the structure. The design should also complement enhancing or framing key elements of the materials. Flat roofs should generally be avoided.



(2) *Colour & Articulation*

Use colour and articulation to break up the building and make it feel like a series of smaller units. This involves the use of colour or texture in both horizontal and vertical elements to assist in identifying each unit. Providing strong trim around door and window edges coupled with contrasting paint assists to enhance variation in the structure. Material variation further assists to enhance key elements of the building's design.

(3) Garages

Projecting garages towards the street frontage should generally be avoided. Garages should be located behind the building in order to provide greater enhancement of the building's design to the streetscape. This is particularly important where there is more than one dwelling joined together, otherwise vehicles and garages become the dominant structure when viewed from the street.



(4) Support Structure Details

Scale of supports should be consistent to the scale of the building to which it is supporting and be a design that complements the structure.



(5) *Landscaping*

Landscaping can also be used to enhance design characteristics of the building and the overall streetscape. In addition to the requirement in the Land Use Bylaw for one tree per lot within the boulevard, units should feature a combination of trees, shrubs and flower beds throughout the lot but specifically used to highlight or enhance building features such as entrances and the base of the structure.



7. SEMI-DETACHED, TRI-PLEX AND FOUR-PLEX DESIGN GUIDELINES

7.1 Designing for People

(1) *Scale & Form*

(a) Homes should be designed so that each has a unique contribution to the community and is of a scale and design that complements single residential dwellings. Floor plans can be the same, but colour, trim, details and materials should be different to provide high quality design and consistency within a neighborhood.



(b) Semi-detached/tri-plexes and four-plex buildings should appear as though they are single family homes with variations provided in the design. With tri-plexes and four-plexes the design should also attempt to disperse the location of each entrance door to the unit through locating on the side of the structure.



(2) *Rooflines*

Further to 7.1, rooflines should be articulated in a manner that they form the appearance of a single dwelling.



(3) *Support Structure Details*

Scale of supports should be consistent to the scale of the building to which it is supporting and be a design that complements the structure.



(4) *Landscaping*

Landscaping can also be used to enhance design characteristics of the building and the overall streetscape. In addition to the requirement in the Land Use Bylaw for one tree semi-detached dwelling unit, units should feature a combination of trees, shrubs and flower beds throughout the lot but specifically used to highlight building features such as entrances and the base.



(5) *Parking*

Parking should be located at the rear of the building or to the side and setback from the main structure to avoid vehicles and asphalt dominating the street frontage. Where a garage is located in the front of the building it should be of a scale and separation to be representative of other single dwelling units in the area.



8. ASSESSMENT SHEETS

The following assessment sheets are to assist with the assessment of the applications against the Design Guidelines:

Downtown

<i>Design Elements</i>	<i>Meets Intent</i>	<i>Does Not Meet Intent</i>	<i>Not Applicable</i>
Building Setback - 4.1(1)			
Store Frontage Widths - 4.1(2)			
Scale of Buildings and Appearance - 4.1(3)			
Transparency - 4.1(4)			
Awnings - 4.1(5)			
Enhancing Buildings at Night - 4.1(6)			
Landscaping - 4.1(7)			
Streetscape Amenities - 4.1(8)			
Signs - 4.1(9)			
Accessibility - 4.2			
Building Design - 4.3(1)			
Store Frontage - 4.3(2)			
Roof Elements and Detail Treatments - 4.4(1)			
Awnings - 4.4(2)			
Corner Lot Buildings - 4.4(3)			
Mixed Use Development - 4.4(4)			

Building Colour & Texture – 4.4(5)			
Building Materials – 4.5(1)			
Solar Gain – 4.5(2)			
Green Roofs – 4.5(3)			
Protective Strip – 4.5(4)			

Multi-Unit Residential

<i>Design Elements</i>	<i>Meets Intent</i>	<i>Does Not Meet Intent</i>	<i>Not Applicable</i>
Multi Adjoining Residential – 5.1(1)			
Colour and Articulation – 5.1(2)			
Garbage Screening – 5.1(3)			
Entrances – 5.1(4)			
Decks – 5.1(5)			
Roof Elements – 5.1(6)			
Support Structure Details – 5.1(7)			
Landscaping – 5.1(8)			
Parking – 5.1(9)			

Townhouses

<i>Design Elements</i>	<i>Meets Intent</i>	<i>Does Not Meet Intent</i>	<i>Not Applicable</i>
Rooflines – 6.1(1)			
Colour and Articulation – 6.1(2)			
Garages – 6.1(3)			
Support Structure Details – 6.1(4)			
Landscaping – 6.1(5)			

Semi-Detached / Tri-plexes / Four-plexes

<i>Design Elements</i>	<i>Meets Intent</i>	<i>Does not Meet intent</i>	<i>Not Applicable</i>
Scale and Form – 7.1(1)			
Rooflines – 7.1(2)			
Support Structure Details – 7.1(3)			
Landscaping – 7.1(4)			
Parking – 7.1(5)			





TOWN OF
HIGH LEVEL

10511 – 103 Street
High Level, AB
T0H 1Z0
Ph: 780-926-2201
Fax: 780-926-2899

Vitalization Grant

Recommendation/Approval

Name of Business	Amount of Funding Requested
Contact Person	Phone Number

Development Comments/Conditions:	
Development Funding Recommendation	\$
Council Committee Comments/Conditions:	
Development Funding Recommendation	\$

NOTE: The Council Committee has the right to adjust the approved funds based on completion of the project.

For Office Use Only	
Decision Date:	Date of Notification:
Notification type: (Letter, verbal etc.)	Notification By:

Personal information on this form is collected in accordance with Section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act and will be solely used for the stated purpose. If you have any questions about the collection, use, or disclosure of this information, please contact the Municipal Clerk at 780-821-4008.



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Vitalization Grant

Allocation Summary Report

Name of Business	
Contact Person	Phone Number
Amount of Funding Allocated	Date Project was Completed

What projects were completed as per the grant funds allocated?
**PLEASE INCLUDE PHOTOS OF YOUR COMPLETED PROJECTS WITH THIS GRANT ALLOCATION USAGE SUMMARY
How did the Vitalization Grant Program assist with this project? Please be specific.

Inspections by the Development Department must be scheduled by the Applicant and completed prior to funds being released. Inspections may be scheduled by contacting the Development Department at 780-821-4022.

NOTE: The final report is due upon the completion of the project for which the Vitalization Grant funding was allocated for. If the project is not completed to the scope of the application, the Council Committee has the right to adjust the funding allocated as necessary. The Town requires notification by October 31, of the application year, if the project will not be completed by the end of the fiscal year (December 31).

Print Name	Signature

Please submit to:

Development Department
10511 – 103 Street High Level, AB T0H 1Z0
Ph: 780-926-2201 | F: 780-926-2899
development@highlevel.ca

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