



Public Hearing Agenda

Monday, May 26th, 2025, at 7:00 p.m.
in the Council Chambers, Town Hall, 10203-105th Avenue, High Level, AB

Electronic Participation via YouTube. The YouTube link for this meeting is:
<https://youtube.com/live/OvlQzMDrfnM?feature=share>

1. **CALL TO ORDER**
2. **PUBLIC HEARING**
 - 2.1. *Town of High Level Bylaw 1053-25 Amendment to Land Use Bylaw 1018-21*
4. **ADJOURNMENT**

THAT the Public Hearings for *Town of High Level Bylaw 1053-25 Amendment to Land Use Bylaw 1018-21* be closed.



TOWN OF HIGH LEVEL

**A BYLAW TO AMEND LAND USE BYLAW 1018-21 AND TO ESTABLISH THE
USES AND RULES FOR A DIRECT CONTROL DISTRICT OF LAND USE BYLAW
1018-21**

BYLAW NO. 1053-25

**THE COUNCIL OF THE TOWN OF HIGH LEVEL, IN THE PROVINCE OF ALBERTA, DULY
ASSEMBLED, ENACTS AS FOLLOWS:**

1. Town of High Level Land Use Bylaw 1018-21 is hereby amended.
2. Town of High Level Land Use Bylaw 1018-21 is amended by reclassifying the land use designation of:

PLAN 4507NY Block 27 Lot B

From: R-4 (Mobile Home - Mobile and Transition Neighbourhood)

To: DC (Direct Control)

As shown on the attached Schedule 'A'.

3. This Bylaw establishes uses and regulations for the Direct Control District of Plan 4507NY, Block 27, Lot B in accordance with Subsection 12.5 of Land Use Bylaw 1018-21. Unless otherwise specified or addressed in this amending bylaw or a statutory plan affecting the lands described above, the following shall apply:
 - a) All relevant uses, definitions, terms, requirements, policies, and processes contained within Land Use Bylaw 1018-21 shall apply.
4. A Notational Lot, as described and illustrated on Schedule 'B', shall be defined as follows:

Notational Lot means a portion of a property within the Direct Control District that is designed and intended to function similarly to a subdivided residential lot within a residential LAND USE DISTRICT.

5. The general intent, rules policies, and requirements governing the Direct Control District are outlined in Schedule 'B'.
6. This Bylaw shall come into effect on the date of its final passing.

READ A FIRST TIME this 28 day of April, 2025



MAYOR



CHIEF ADMINISTRATIVE OFFICER

READ A SECOND TIME this _____ day of _____, 202_____

MAYOR

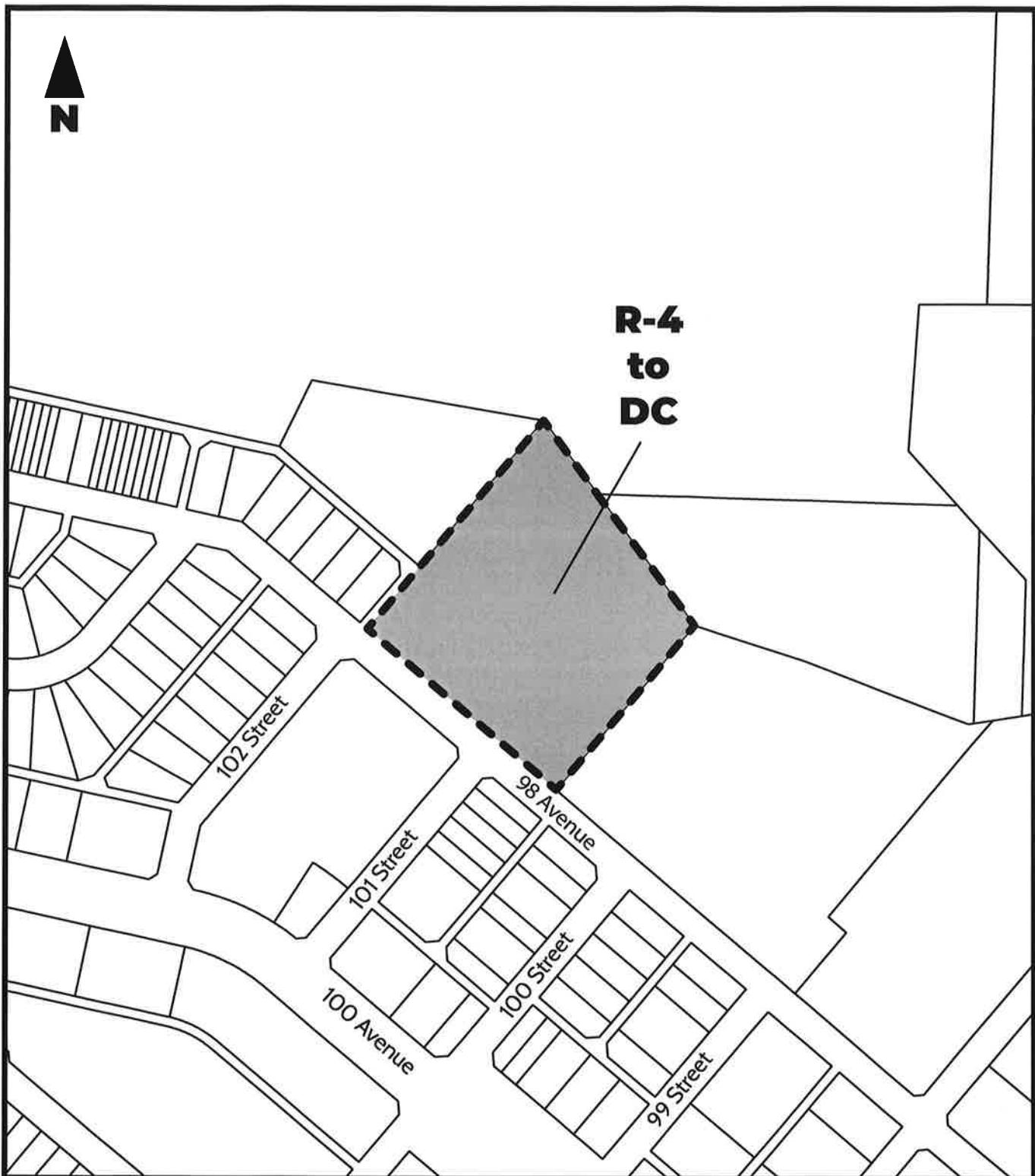
CHIEF ADMINISTRATIVE OFFICER

READ A THIRD TIME this _____ day of _____, 202_____

MAYOR

CHIEF ADMINISTRATIVE OFFICER

Schedule 'A'



Legal: Plan 4507NY Block 27 Lot B
Municipal: 9900 98 Avenue
From: R-4 (Mobile Home - Mobile and Transition Neighbourhood
To: DC (Direct Control)


Amendment Area

Schedule 'B'

INTENT

1. This DC LAND USE DISTRICT allows the DEVELOPMENT of housing within a parcel designed to accommodate DWELLING UNITS on NOTATIONAL LOTS as provided for in the approved Moose Meadows Phase 1: Outline Plan.
2. Council has delegated the decision on DEVELOPMENT PERMIT applications within the DC LAND USE DISTRICT to the DEVELOPMENT AUTHORITY.

USES

PERMITTED USES	DISCRETIONARY USES
a) ACCESSORY BUILDING OR STRUCTURE; b) DWELLING – SINGLE-FAMILY; and c) MANUFACTURED HOME – MODULAR.	a) BUILDING – MOVED IN; b) DWELLING – DUPLEX; c) ACCESSORY USES associated with a DWELLING – SINGLE-FAMILY: i. HOME OCCUPATION; and d) MANUFACTURED HOME – MOBILE.

SITE PROVISIONS

3. The density within the DC LAND USE DISTRICT shall be limited to 27 principal buildings, with NOTATIONAL LOTS generally conforming to Figure 1, subject to the satisfaction of the DEVELOPMENT AUTHORITY.
4. Notwithstanding any provision within Section 5 of Bylaw 1018-21, the NOTATIONAL LOTS located within the DC LAND USE DISTRICT shall be subject to lot, site, and building requirements as shown in Table 1.

TABLE 1 DC LAND USE DISTRICT LOT, SITE, AND BUILDING REQUIREMENTS

Component	DWELLING – SINGLE FAMILY, MANUFACTURED HOME - MOBILE, AND MANUFACTURED HOME – MODULAR/UNIT	DWELLING – DUPLEX
NOTATIONAL LOT Area (Minimum)	330 m ² /3,552 sq.ft.	233 m ² /2,507 sq.ft.
NOTATIONAL LOT Width (Minimum)	11 m/36 ft	8 m/26.2 ft

NOTATIONAL LOT Depth (Minimum)	30 m/98.4 ft	30 m/98.4 ft
YARD – FRONT (Minimum)	6 m/14.9 ft	6 m/14.9 ft
YARD – FLANKAGE (Minimum)	3 m/9.85 ft	3 m/9.85 ft
YARD – SIDE (Minimum)	1.2 m/3.9 ft	1.2 m on one side and 0 m on the side with a PARTY WALL
YARD – REAR (Minimum)	7 m/22.9 ft	7 m/22.9 ft
FLOOR AREA – GROSS above FINISHED GRADE (Minimum)	90 m ² /968 sq.ft.	75 m ² /807 sq.ft.
BUILDING HEIGHT (Maximum)	10.0 m (32.8 ft.)	10.0 m (32.8 ft.)
LOT COVERAGE (Maximum)	40%	40%
Maximum number of Buildings on NOTATIONAL LOTS	The maximum number of buildings on a NOTATIONAL LOT shall be two (2), a maximum of one principal building and one accessory building.	
Internal roadways	Internal roadways shall be developed to Town Standards. The minimum internal roadway width shall comply with Town roadway design standards.	

ADDITIONAL REQUIREMENTS

5. DEVELOPMENTS within the DC LAND USE DISTRICT shall be consistent with the Town of High Level Design Guidelines, to the satisfaction of the DEVELOPMENT AUTHORITY.
6. DWELLING – SINGLE FAMILY and all other residential uses with driveway ACCESS from a rear LANE are permitted to reduce their YARD – FRONT and YARD – FLANKAGE SETBACK to 4.5m/14.7ft.
7. Driveways and GARAGES for DWELLING – DUPLEX shall be separated by a landscaped strip of at least 0.5m/1.6ft.

8. Fencing shall be provided around the perimeter of the site prior to occupancy of any buildings and to the satisfaction of the DEVELOPMENT AUTHORITY and in alignment with Bylaw 1018-21

9. All DEVELOPMENTS are subject to the requirements of Sections 5 and 6 of Bylaw 1018-21.

DISCRETIONARY USE CRITERIA AND REQUIREMENTS

10. When assessing a DISCRETIONARY USE within the DC LAND USE DISTRICT, the applicant shall demonstrate the following to the DEVELOPMENT AUTHORITY:
 - a. consistency with the Town of High-Level Design Guidelines, where applicable;
 - b. the scale of the BUILDINGS and/or STRUCTURES is comparable to other DWELLING UNITS within the LAND USE DISTRICT in terms of GROUND FLOOR AREA, FLOOR AREA – GROSS and BUILDING HEIGHT; and
 - c. the BUILDINGS and/or STRUCTURES avoid creating a blank appearance when orientated towards a street through the use of design elements such as shutters, bay windows, dormers, porches, verandahs, pillars, material changes or other features.

11. In considering approved ACCESSORY USES, the applicant will need to demonstrate the following to the DEVELOPMENT AUTHORITY:
 - a. that any HOME OCCUPATION meets the requirements of Subsection 5.19;
 - b. potential impacts such as noise, traffic and PARKING have been mitigated; and
 - c. there shall be no use of SIGNAGE, unless permitted under Articles 5.19.3, 5.20.3 or 9.2.13.

12. When considering a proposed MANUFACTURED HOME – MOBILE in the DC LAND USE DISTRICT, the DEVELOPMENT AUTHORITY will only consider this USE if:
 - a. the proposed MANUFACTURED HOME – MOBILE meets the definition in Bylaw 1018-21; and
 - b. the MANUFACTURED HOME – MOBILE is no more than 20 years old at the time of placement onto a PARCEL, unless an Appraiser has assigned a MANUFACTURED HOME – MOBILE with a new EFFECTIVE AGE up to 20 years old at the time of placement; and
 - c. the MANUFACTURED HOME – MOBILE with a new EFFECTIVE AGE includes the submission of a comprehensive Appraisal Report containing the new EFFECTIVE AGE and inspection details with a DEVELOPMENT PERMIT application, to the satisfaction of the DEVELOPMENT AUTHORITY.

13. The DEVELOPMENT AUTHORITY may exercise discretion to allow a fence higher than 2m/6.56ft. along a LOT-LINE – REAR or LOT LINE – SIDE within the DC LAND USE DISTRICT, if the LOT is located behind a DEVELOPMENT that measures 11m/36ft. in height or three (3) or more stories.
14. The DEVELOPMENT AUTHORITY may impose conditions on DISCRETIONARY USES that avoid, remedy or mitigate potential impacts, including monitoring conditions to confirm compliance.

SIGNAGE REQUIREMENTS

15. SIGNS shall:
 - a. not exceed 1.5m²/16.2sq.ft. in sign area;
 - b. be no higher than 2m/6.5ft. above finished grade;
 - c. not be illuminated; and
 - d. Subject to the requirements of Section 7.
16. Any SIGN not requiring a permit under Article 7.2.4 shall be permitted.
17. SIGN – FASCIA not exceeding 0.25m²/2.6sq.ft. in area shall be permitted for the purposes of identifying the residents therein, warn against trespassing, and cannot be a SIGN – ILLUMINATED.

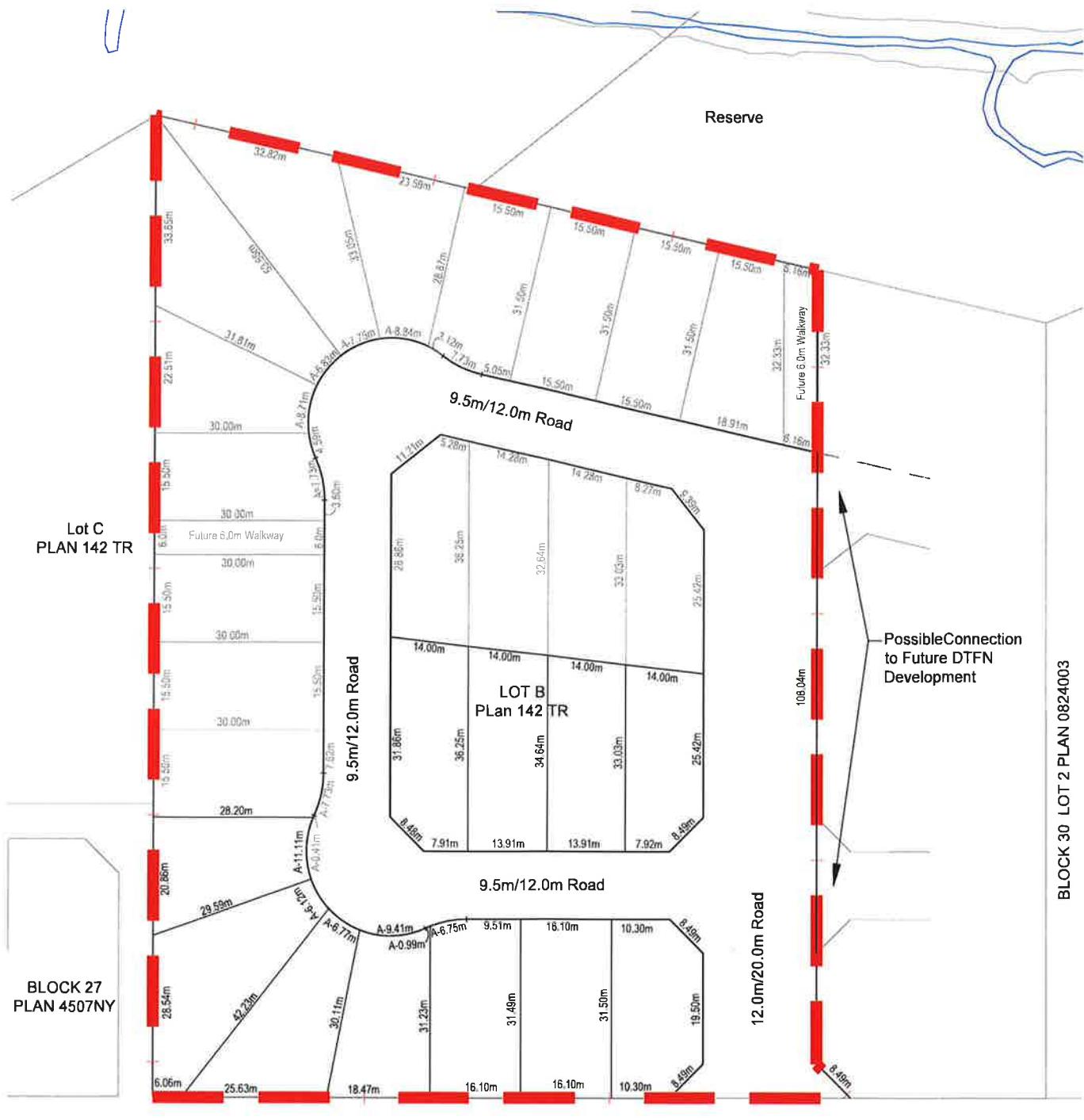


Figure 1: Moose Meadows Phase 1 Preliminary Notational Plan

Preliminary Notational Plan

April 2025



0 20 40 m
1:1000
Integrated Expertise, Locally Delivered

Land Use Bylaw Amendment Application



All materials must be clear, legible, and precise. Only applications that are complete will be accepted. This application is for a land use bylaw amendment (also called rezoning) only, if a subdivision is required, you must apply separately. **Incomplete or illegible applications may result in delays or application refusals.**

Address High Level, Alberta, TOH 1Z0

Lot B **Block** 27 **Plan** 4507NY

Applicant

Same as Property Owner

Name ISL Engineering (Joseph Parsons)
Address 7909 - 51 Avenue
Town/City Edmonton Postal Code T6E 5L9
Phone 780.438.9000
E-mail JParsons@islengineering.com
Signature [Signature]

Property Owner

Name EHDA CHO Corp. (N'DEH LP)
Address General Delivery
Town/City High Level Postal Code TOH 1Z0
Phone 780.926.3776
E-mail jordan.asels@ndeh.ca
Signature [Signature]

Providing an email means you consent to receiving documents or communications related to this application, including, but not limited to rezoning application decisions, acknowledgments confirming an application is complete, any notices identifying or requesting outstanding documents and information, by email.

I, the applicant, acknowledge that:

1. This application does not exempt the applicant, owner, or owner's agents from full compliance with any easement, covenant, building scheme, or other agreements affecting the property, nor from any applicable laws, bylaws, or regulations.
2. The Town and its agents have the right to enter the property to inspect for and enforce compliance with issued approvals, and any relevant bylaws, regulations, and legislation.
3. I declare that I have reviewed the information from the Energy Resource and Conservation Board (ERCB) and can advise that the information shows the absence of any abandoned wells on the parcel that is the subject of this application.

Signature [Signature]

Date March 3, 2025

As the Applicant, I affirm

I am the registered owner of the above property.
 I have entered into a binding agreement to purchase the above property with the registered owner(s).
 I have permission of the registered owner(s) of the above property to make this application for a Land Use Bylaw Amendment.

Property Information

Current Zoning: R-4 - Manufactured Home

Proposed Zoning: DC - Direct Control

If you are wishing to apply for Direct Control zoning please provide an explanation of the uses you are looking to include within the proposed Direct Control Bylaw.

Existing Use of The Property

Vacant.

The subject site was previously developed as the High Level Trailer Court and was most recently stripped, gravelled, and graded to provide emergency housing +

Proposed Use of The Property

To provide transitional housing adjacent to existing support services and recreational opportunities that will contribute to a safe environment and a healthy quality of life. +

OFFICE USE ONLY

Current Zoning R-4

Town File # LUBAO1-25

Date Received April 24, 2025

MPS File # N/A

Land Use Bylaw Amendment Application



Rezoning Rationale & Checklist

Please describe why the proposed rezoning is necessary and any projects you have planned that requires this rezoning:

Dene Tha First Nation's Indigenous Transitional Housing Unit Project is a priority initiative designed to secure accommodation for vulnerable Indigenous people facing gender-based violence and others recovering from addiction.

There is a significant underserved Indigenous population in remote and semi-remote northern Alberta and in the southern Northwest Territories. Beyond the need of the Dene Tha, there is a larger regional need for transitional housing units to support vulnerable populations. During times of less than 100% occupancy, Dene Tha homes to other communities seeking this se

The development proposal will provide the region with new ready-to-move single family (manufactured) homes to support recovery for vulnerable populations.

The location provides access to amenities including schools, training facilities, grocery stores, library, gym, churches, health care, parks and natural areas, recreation and aquatic centers and employment opportunities. All units will be designed to be culturally appropriate and provide a secure and healthy environment.

The residential layout is intended to provide options for one-bedroom or three-bedroom homes. The first phase will include 10 and 4 three-bedroom modular units which will be constructed offsite. The remaining portion of the Outline Plan area is anticipated to accommodate similar dwellings.

LUB Amendment Package Requirements

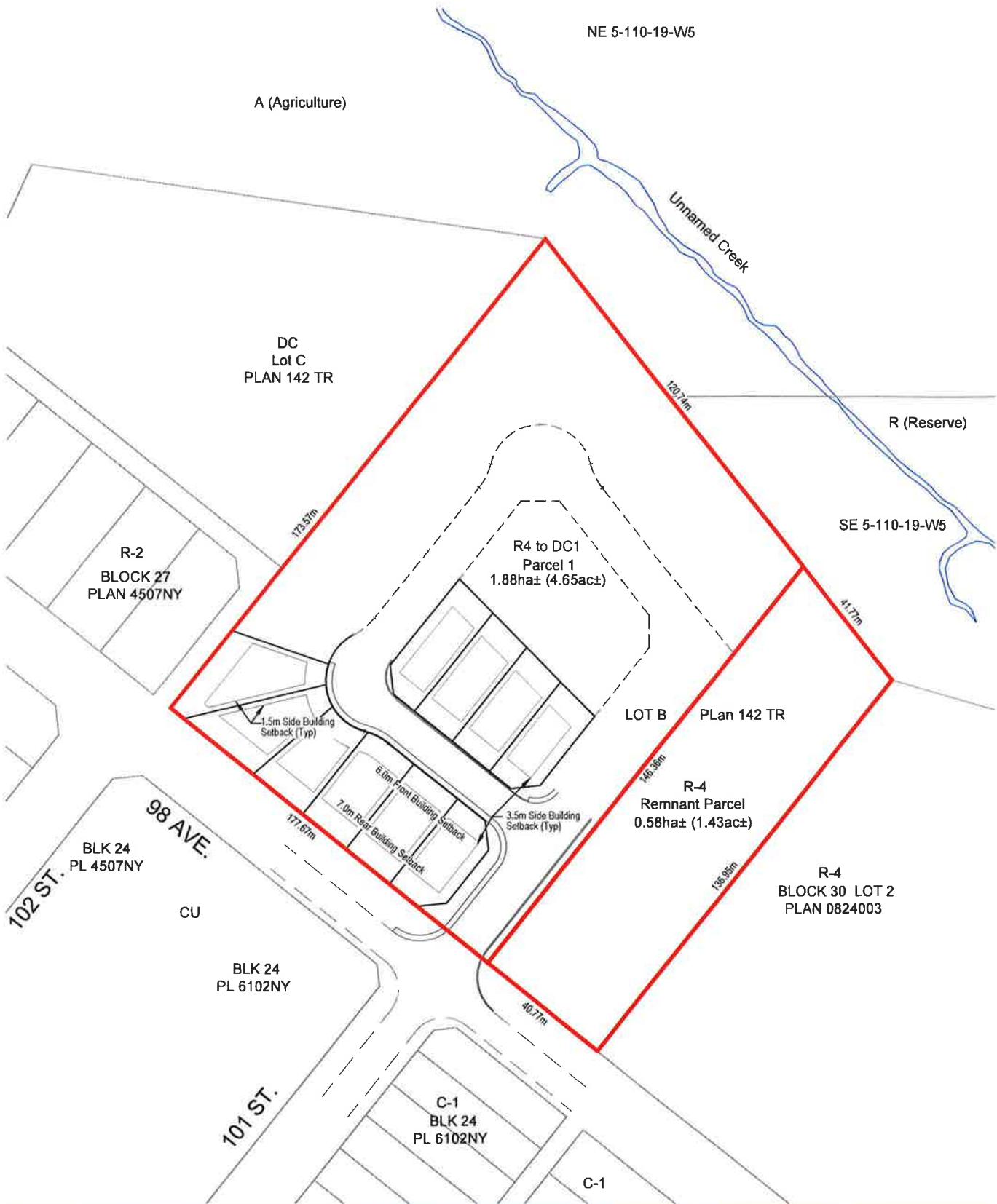
- Completed site plan with dimensions of the property and adjacent properties
- Site Orthophoto Showing Full Extent of Property
- Certificate of Title* (<30 days)

*If the applicant is unable to obtain a Certificate of Title, the Town will acquire one for an additional fee of \$15.

Site Plan Checklist

1. Must be oriented with north at the top of the page and must contain a north arrow.
2. Must show site layout (and dimensions in metric or standard) which includes:

- All property lines & adjacent streets/roads
- All existing and proposed structures
- All setback and separation distances of current and proposed structures
- All existing and proposed driveways, walkways, etc.
- Existing above ground utility structures on site
- Existing water bodies/features
- Current zoning of the property applied for and all adjacent properties
- Clear identification of which property is being applied for



0 30 60 m 1:1500



Integrated Expertise, Locally Delivered

Land Use Redesignation

Site Plan

March 2025



Project Boundary

Land Use Redesignation

Aerial Photo

March 2025

0 30 60 m 1:5000
Integrated Expertise, Locally Delivered





LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL
0033 212 747 0824003:30:2

TITLE NUMBER
082 444 578 +1

LEGAL DESCRIPTION
PLAN 0824003
BLOCK 30
LOT 2
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 3.27 HECTARES (8.08 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5:10:110:5:SE

MUNICIPALITY: TOWN OF HIGH LEVEL

REFERENCE NUMBER: 082 184 990 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
082 444 578	09/10/2008	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

EDDA CHO CORPORATION.
OF 600, 12220 STONY PLAIN ROAD
EDMONTON
ALBERTA T5N 3Y4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
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892 127 089 31/05/1989 CAVEAT
RE : SEE CAVEAT
CAVEATOR - THE TOWN OF HI
BOX485
HIGH LEVEL
ALBERTA T0H1Z0
AGENT - WILLIAM N GILBERT

(CONTINUED)

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 5 DAY OF
FEBRUARY, 2025 AT 04:04 P.M.

ORDER NUMBER: 52801670

CUSTOMER FILE NUMBER: 16751 PhA06



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
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OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

5

LINC SHORT LEGAL
0015 272 230 4507NY;27;B

TITLE NUMBER
082 444 578 +2

LEGAL DESCRIPTION

PLAN 4507NY

BLOCK 27

LOT B

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 2.46 HECTARES (6.09 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;19;110;5

MUNICIPALITY: TOWN OF HIGH LEVEL

REFERENCE NUMBER: 832 195 155

REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	REGISTERED OWNER (S)
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CONSIDERATION

082 444 578 09/10/2008 TRANSFER OF LAND SEE INSTRUMENT

OWNERS

EHDA CHO CORPORATION.
OF 600, 12220 STONY PLAIN ROAD
EDMONTON
ALBERTA T5N 3Y4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		PARTICULARS
NUMBER	DATE (D/M/Y)	

892 127 089 31/05/1989 CAVEAT
RE : SEE CAVEAT
CAVEATOR - THE TOWN OF HIGH LEVEL.
BOX485
HIGH LEVEL
ALBERTA T0H1Z0
AGENT - WILLIAM N GILBERT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

082 444 578 +2

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

032 174 744 21/05/2003 NOTICE OF SECURITY INTEREST
RE : FIXTURES
IN FAVOUR OF - CANADIAN IMPERIAL BANK OF COMMERCE.
P O BOX 330
HIGH LEVEL
ALBERTA T0H1Z0
DEBTOR - PATRICIA A JONES
BOX 3686
HIGH LEVEL
ALBERTA T0H1Z0
AMOUNT: \$59,589
EXPIRES: 2021/05/06

TOTAL INSTRUMENTS: 002

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Land Use Bylaw Amendment Application



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Town File # LUBAO1-25

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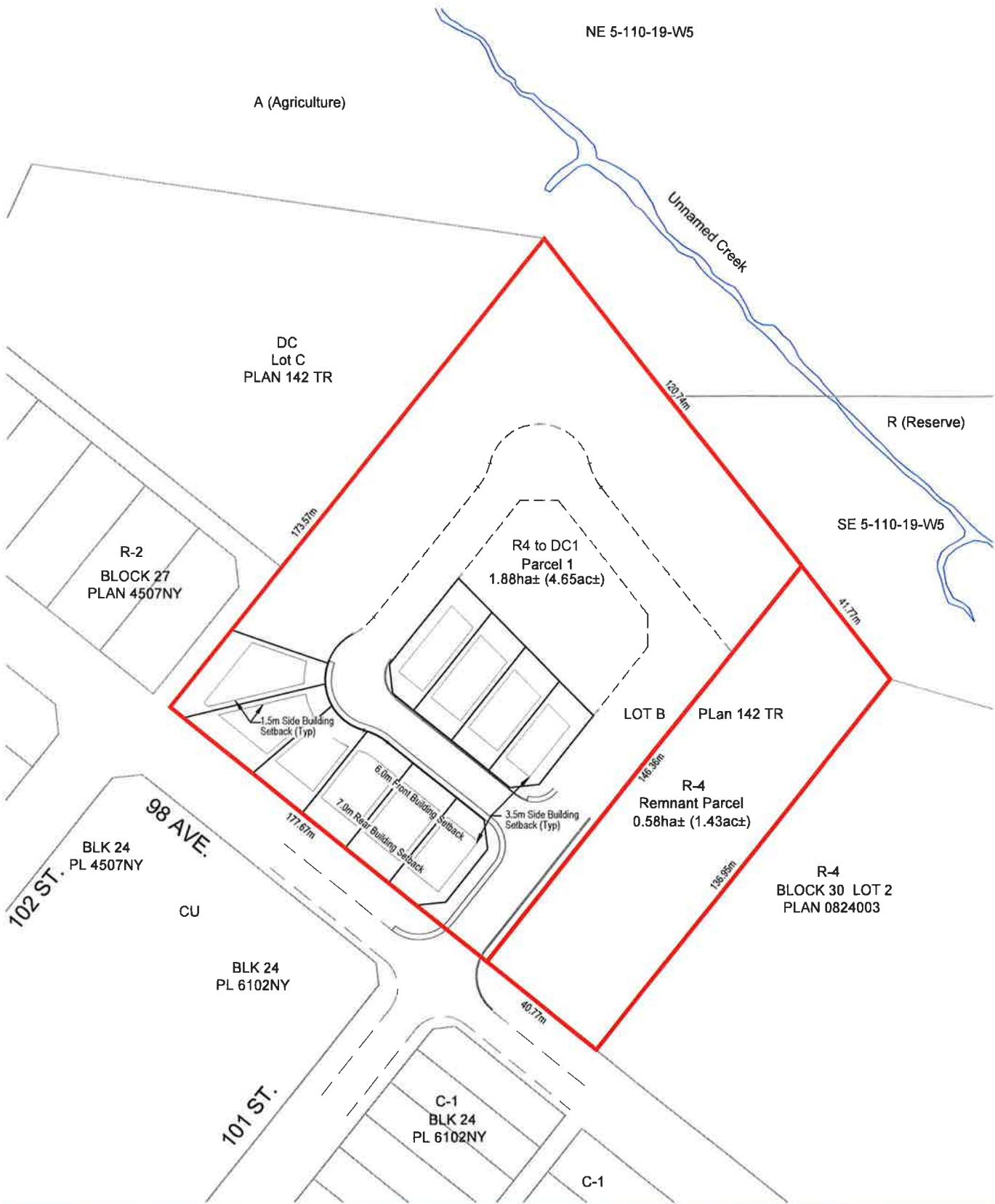
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0 30 60 m 1:1500



Integrated Expertise, Locally Delivered

Land Use Redesignation

Site Plan

March 2025



Project Boundary

Land Use Redesignation

Aerial Photo

March 2025

0 30 60 m 1:5000
Integrated Expertise, Locally Delivered





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LINC SHORT LEGAL
0033 212 747 0824003:30:2

TITLE NUMBER
082 444 578 +1

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ESTATE: FEE SIMPLE
ATS REFERENCE: 5:10:110:5:SE

MUNICIPALITY: TOWN OF HIGH LEVEL

REFERENCE NUMBER: 082 184 990 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
082 444 578	09/10/2008	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

EDHA CHO CORPORATION.
OF 600, 12220 STONY PLAIN ROAD
EDMONTON
ALBERTA T5N 3Y4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
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892 127 089 31/05/1989 CAVEAT
RE : SEE CAVEAT
CAVEATOR - THE TOWN OF HI
BOX485
HIGH LEVEL
ALBERTA T0H1Z0
AGENT - WILLIAM N GILBERT

(CONTINUED)

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ORDER NUMBER: 52801670

CUSTOMER FILE NUMBER: 16751 PhA06



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LAND TITLE CERTIFICATE

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0015 272 230 4507NY;27;B

TITLE NUMBER

LEGAL DESCRIPTION

PLAN 4507NY

BLOCK 27

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ESTATE: FEE SIMPLE

ATS REFERENCE: 5;19;110;5

MUNICIPALITY: TOWN OF HIGH LEVEL

REFERENCE NUMBER: 832 195 155

REGISTRATION DATE (DMY) DOCUMENT TYPE REGISTERED OWNER (S)

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OWNERS

EHDA CHO CORPORATION.
OF 600, 12220 STONY PLAIN ROAD
EDMONTON
ALBERTA T5N 3Y4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
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892 127 089 31/05/1989 CAVEAT

RE : SEE CAVEAT

CAVEATOR - THE TOWN OF HIGH LEVEL.

BOX 485

HIGH LEVEL

ALBERTA TOHIZO

AGENT - WILLIAM N GILBERT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

082 444 578 +2

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

032 174 744 21/05/2003 NOTICE OF SECURITY INTEREST
RE : FIXTURES
IN FAVOUR OF - CANADIAN IMPERIAL BANK OF COMMERCE.
P O BOX 330
HIGH LEVEL
ALBERTA T0H1Z0
DEBTOR - PATRICIA A JONES
BOX 3686
HIGH LEVEL
ALBERTA T0H1Z0
AMOUNT: \$59,589
EXPIRES: 2021/05/06

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 5 DAY OF
FEBRUARY, 2025 AT 04:04 P.M.

ORDER NUMBER: 52801670

CUSTOMER FILE NUMBER: 16751 PhA06



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
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OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).